

# COMMITTEE AMENDMENT FORM

DATE: 11/28/ 07

COMMITTEE      ZONING      PAGE NUM. (S)

ORDINANCE I. D. #07-O-1901      SECTION (S)

RESOLUTION I. D. #07-R-      PARA.

AMENDS THE LEGISLATION BY ADDING TWO (2) CONDITIONS ONE OF WHICH IS A SITE PLAN RECEIVED BY THE BUREAU OF PLANNING 9/11/07.

AMENDMENT DONE BY COUNCIL STAFF 11/28/07

City Council  
Atlanta, Georgia

07-O-1901

U-07-28

**AN ORDINANCE BY COUNCILMEMBER KWANZA HALL  
AS AMENDED BY ZONING COMMITTEE**

**TO ISSUE A SPECIAL USE PERMIT FOR A CONGREGATE HOME AT  
730 & 736 PIEDMONT AVENUE; TO WAIVE THE 2,000 FOOT  
DISTANCE REQUIREMENT FOR THIS LOCATION; AND FOR  
OTHER PURPOSES.**

**WHEREAS**, the property located at 730 & 736 Piedmont Avenue is the site of the Partnership Against Domestic Violence Congregate Home which has operated at this site for over 19 years.

**WHEREAS**, this center provides a much needed service for this community; and

**WHEREAS**, the physical existing structure needs renovation; and

**WHEREAS**, the directors of Partnership Against Domestic Violence wish to expand their facility on the site with the addition of new building that will serve the needs of the community and;

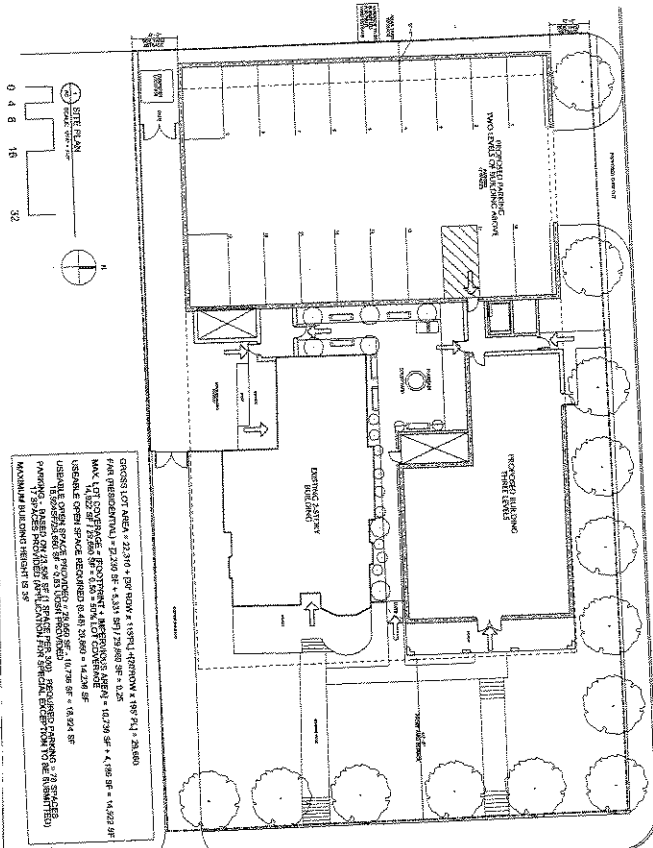
**WHEREAS**, the center has shown a commitment to the community;

**NOW, THEREFORE, IT IS HEREBY ORDAINED BY THE COUNCIL OF THE  
CITY OF ATLANTA, GEORGIA as follows**

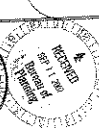
**SECTION 1.** The 2,000 foot distance requirement set forth in 16-29.001(16)(d)(1) be waived for the property located at 730 & 736 Piedmont Avenue.

**SECTION 2.** That a Special Use Permit be issued for a Congregate Home in favor of Partnership Against Domestic Violence located at 730 & 736 Piedmont Avenue.

**SECTION 3.** That all ordinances or parts or ordinances in conflict with this ordinance are hereby waived for the purposes of this ordinance only.



GROSS LOT AREA = 22,910 SF ± 107% LARGER THAN 1972 LOT 28,680  
 FIVE PERCENT (5%) OF LOT AREA = 1,145.5 SF ± 10% OF LOT AREA  
 MAX. LOT COVER = 15.5% OF LOT AREA = 3,541.05 SF ± 10% OF LOT AREA  
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 USABLE OPEN SPACE REQUIRED (FAR 20.00) = 14,368.95 SF ± 10% OF LOT AREA  
 USABLE OPEN SPACE PROVIDED (FAR 20.00) = 14,368.95 SF ± 10% OF LOT AREA  
 PARKING - 15 SPACES ON 15.5% OF LOT AREA PROVIDED  
 15 SPACES ON 15.5% OF LOT AREA PROVIDED  
 MAXIMUM BUILDING HEIGHT IS 35'



10-27-20  
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PIEDMONT AVENUE

DALLA  
 LACERTELLI INC.  
 100 Peachtree St.  
 Atlanta, GA 30303  
 404.525.1111  
 404.525.1112

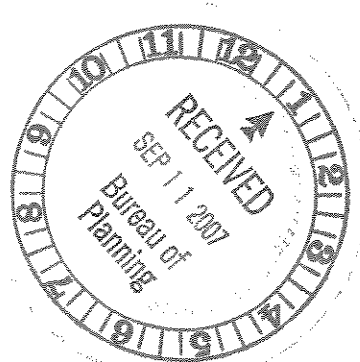
PADV  
 03560  
 100 Peachtree St.  
 Atlanta, GA 30303

100 Peachtree St.  
 Atlanta, GA 30303

100 Peachtree St.  
 Atlanta, GA 30303

100 Peachtree St.  
 Atlanta, GA 30303

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BY COUNCIL MEMBER KWANZA HALL

  
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